

**MEETING OF THE PLAN COMMISSION OF THE
VILLAGE OF LAKE DELTON
May 22, 2017**

Upon giving proper notice pursuant to Section 19.84 Wis Stats, and certifying compliance with the open meeting law, a Meeting of the Plan Commission of the Village of Lake Delton was called to order on Monday May 22, 2017 at 1:00 P.M. at the Kay C. Mackesey Administration Building.

Present were Chairman John Webb; Tom Diehl, Wally Czuprynko, Gordon Priegel and Cary Brandt. Absent was Allen Pentell.

Also in attendance were Attorney Richard Cross, Engineer/Zoning Administrator John Langhans, Police Chief Dan Hardman, EMD Darren Jorgenson, Assistant Zoning Administrator Chris Narveson, Engineer Brad Boettcher, Director of Public Works Gary Hansen, Leslie Bremer, Anna Merrill, Bob & Jean Logan, Joyce Fuller, Bill Pettit, Ryan McKichan and other ADCI represents, the news media.

Motion by Wally Czuprynko, Second by Cary Brandt for adoption of the meeting agenda. Motion carried.

A Public Hearing was held on the request of Thomas Holtz, TWH Property Investment Inc., for a Conditional Use Permit pursuant to Municipal Code Chapter 66, Subchapter 66.54 (x), Commercial (C-1) District, for construction of Employee Housing/Dormitory, Building #5, Hiawatha Residence Hall, Phase III.

Several adjacent property owners were in attendance. There was no opposition to the Conditional Use Permit request. Basic question was what the Village was planning for the roadways.

Motion by Tom Diehl, Second by Wally Czuprynko to close the public hearing and to recommend approval of the request of Thomas Holtz, TWH Property Investment Inc., for a Conditional Use Permit pursuant to Municipal Code Chapter 66, Subchapter 66.54 (x), Commercial (C-1) District, for construction of Employee Housing/Dormitory, Building #5, Hiawatha Residence Hall, Phase III. Motion carried.

Ryan McKichan, ADCI, and Engineer Brad Boettcher, made a presentation to the Commission on the plans for the second building at Wilderness for employee housing. There will be 264 beds and the architecture and design standards will be identical to building #1. Height of the building will be approximately 60 feet. The basement level will contain amenities.

In a memo from Zoning Administrator John Langhans, he stated that:

1. Water main connection shall be performed via "live tap". Water Superintendent shall be notified in advance to perform the necessary inspections.
2. Sanitary sewer connection shall be coordinated with the Village Director of Public Works. DPW shall be notified in advance to perform the necessary inspections.
3. Roadway restoration of East Adams Street shall be the full width of the roadway and consist of a minimum of 4" of HMA over 15" of base course. Trench shall be backfilled with granular material from the top of the pipe zone to the roadway subgrade.
4. Existing sanitary sewer to this site shall be completely removed within the right-of-way.
5. Developer's contractors shall maintain two-way traffic and one lane of access on East Adams Street at all times. Flagmen and advanced traffic control will be required during sanitary sewer

- construction.
6. Developer shall install downstream inlet protection measures on East Adams Street as part of their erosion control plan.
 7. An abbreviated storm water management plan is required to show the increase/decrease of impervious areas and proposed storm water reduction measures (if there is an increase). Proposed erosion control shall also be shown. Submittal, review and approval are required before building permits can be issued.

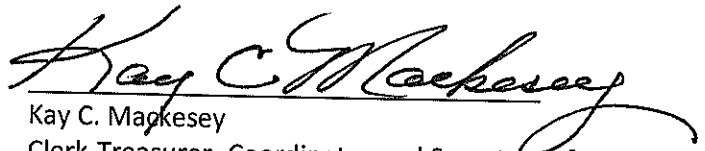
DPW Gary Hansen then informed the board that he had asked that the repair made in the street from the last utility connection be fixed as it has sunken. He also discussed the fact that in building #1 screening had been used in the manhole to catch items which could go through and plug up the pumps at the lift station. Following this discussion, Zoning Administrator John Langhans added an 8th item to his site review.

8. Screening features on sanitary sewer.

Mr. Langhans then recommended site and architectural approval contingent upon items 1 through 8.

Motion by Tom Diehl, Second by Wally Czuprynko to close the public hearing and to recommend approval of the Site and Architectural plans, along with a greater building height; contingent on items one (1) through eight (8) of John's memo. Motion carried.

Motion by Wally Czuprynko, Second by Gordon Priegel to adjourn. Motion carried. Meeting adjourned.



Kay C. Mackesey
Clerk-Treasurer- Coordinator and Secretary of
the Plan Commission