

**MEETING OF THE HOUSING AND PROPERTY MAINTENANCE COMMITTEE
OF THE VILLAGE OF LAKE DELTON
October 19, 2017**

Upon giving proper notice pursuant to Section 19.84 Wis Stats, and certifying compliance with the open meeting law, a Meeting of the Housing and Property Maintenance Committee of the Village of Lake Delton was called to order on Thursday, October 19, 2017 at 10:00 A.M. at the Kay C. Mackesey Administration Building

Present were Chairman Cary Brandt, Les Bremer; and Andrew Waterman.

Among those in attendance were Kay C Mackesey Clerk-Treasurer-Coordinator, Attorney Richard Cross, Assistant Zoning Administrator/Inspector Kheli Mason, Public Works Director Gary Hansen, Police Chief Dan Hardman, Dana Krueger, Anna Hutchinson and James Bowen.

Motion by Les Bremer, Second by Andrew Waterman for adoption of the meeting agenda. Motion carried.

Discussion was held with the Management Companies in attendance on the issues they had regarding the licensing of Tourist Rooming Houses.

Dana Krueger of Sand County Service said she would like that all Management Companies are on a level playing field, wants to be treated the same as Lake Pointe Management at Island Point, Wisconsin Management at Lighthouse Cove and Caribbean Club and Wisconsin Dells Getaways, LLC at Delton Grand to name a few. Why are they not required to have a Management License and Tourist Room Housing License (TRH) as all the units are individually owned and not all units in the complex go through the Home Owner or Condo Association designated Management Company?

Attorney Cross stated that due to the new State Law on Room Tax Collections that it will be ideal to require that all Condo Complexes have an exclusive property manager for the entire complex, for the new reporting requirements the Village will be implementing.

There will have to be a breakdown of the Gross Rent for each individual Unit, the amount Rented through the Management Company and the amount through a third party vendor (Unit Owner, AirBnB, HomeAway, VRBO, etc.), amount of tax due for each unit with payment submitted for each third party vendor and Management Company for each unit.

He will be working on getting these changes into the Village Code.

Fire Inspection are not required by the State of Wisconsin – Department of Fire & Safety, only required by the Village of Lake Delton. These will be done in conjunction of the TRH Inspection by the Village of Lake Delton Zoning/ Building Inspector per Attorney Cross and not be separate requirement on the TRH applications.

Dana Krueger of Sand County also stated that she shouldn't have to pay for an original license on Tamarack as they have been renting their units since 1995 and paying room tax on these units.

Motion by Les Bremer, Second by Andrew Waterman to allow the Sand County units at Tamarack to be only charged the Renewal Permit Fee of \$50.00 and \$5.00 per person occupancy fee for each unit and that they should be reporting individually the amount for each unit. Motion carried

Motion by Les Bremer, Second by Andrew Waterman to approve the New Tourist Rooming House Permit applied for by Spring Brook for Matthew Schnoor at 137 Cliffside Drive for a house with 3 bedroom/ 2 bath with 1011.68 sq. ft. requesting occupancy for 8 persons. Motion carried.

Motion by Les Bremer, Second by Andrew Waterman to approve the Tourist Rooming House Permit applied for by Sand County Service for Nicky Butler at E11272 Hillside Drive for a cottage (The Bird House) with 1 bedroom/ 1 bath with 506 sq. ft. with occupancy for 3 persons with the renewal permit fee of \$50.00 and \$5.00 per person occupancy charge. Motion carried.

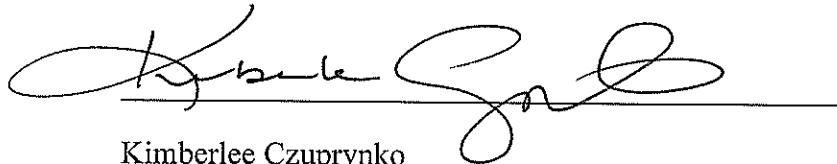
1. Motion by Les Bremer, Second by Andrew Waterman to approve the Tourist Rooming House Permit applications applied for by Sand County Service for units at Tamarack:
 - a. Tamarack Terrace #1B, requesting occupancy for 6 persons
 - b. Tamarack Terrace 3A, requesting occupancy for 4 persons
 - c. Tamarack Terrace 4A, requesting occupancy for 6 persons
 - d. Tamarack Terrace #5, requesting occupancy for 6 persons
 - e. Tamarack Parkview #4, requesting occupancy for 4 persons
 - f. Tamarack Glade #4, requesting occupancy for 6 persons
 - g. Tamarack Ridgeview #6, requesting occupancy for 6 persons

with a renewal permit fee of \$50.00 and \$5.00 per person occupancy charge for each unit with complete floor plans provided for all . Motion carried.

James Bowen reported that all Student Housing (Seasonal Employee Housing) Fire Inspections are up to date.

Kheli Mason reported that all the TRH inspections/Fire Inspections are done except two that need to apply for a renewal permit before inspection.

Motion by Les Bremer, Second by Andrew Waterman to adjourn. Motion carried. Meeting adjourned.



Kimberlee Czuprynko
Administrative Secretary